



Cariad Cottage, 8 Manor Crest, Ford, Shrewsbury SY5 9NZ

4 bedroom semi-detached house—£325,000 Freehold

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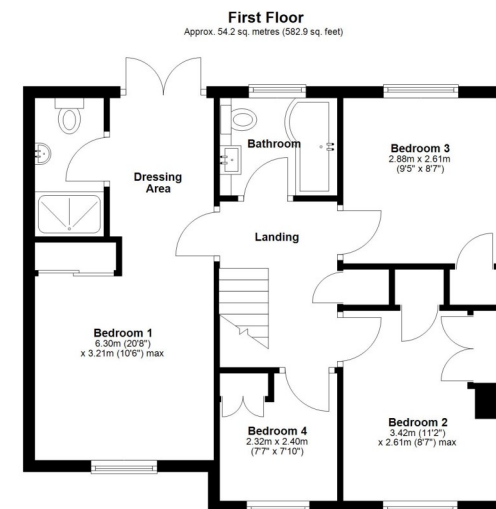
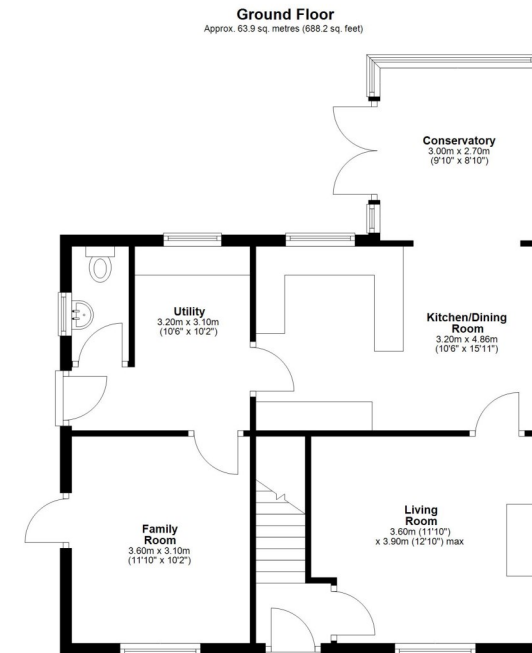
£325,000 Freehold—4 bedroom semi-detached house

sales@cgpooks.co.uk

Occupying a lovely position within a quiet cul-de-sac, backing on to woodland, this beautifully presented semi-detached house has been extended and improved to provide well-proportioned and versatile accommodation, while benefitting from a landscaped private garden and driveway parking.

KEY FEATURES

- Entrance hall opening to a good-sized living room with feature fireplace and wood burning stove
- Impressive open plan kitchen/dining room, complete with integrated appliances and under floor heating
- Conservatory to rear, currently used as a dining area, which opens onto the garden, as well as being open plan to the kitchen
- Very practical separate utility with cloakroom and access to side
- The former garage has been converted to create a versatile additional reception space, which makes a fantastic family room but could also be used as a study, gym, 5th bedroom or to run a business
- Well-designed master bedroom with built in wardrobes, en-suite shower room and dressing area with glazed doors and Juliette balcony offering views to the rear
- Three further bedrooms, all having built in storage, and a modern family bathroom with shower
- uPVC double glazed windows and electric heating
- Attractively landscaped private rear garden, laid to lawn with paved and decked terraces, there is also access to a footbridge over the brook connecting to a quiet lane and countryside walks
- To the front of the property is a gravelled driveway providing parking
- A very quiet and convenient location, a short distance from a range village amenities, including primary school and mini supermarket, Indian restaurant and takeaway. The Shrewsbury bypass is less than a 5-minute drive away and the town centre just 10 minutes



Total area: approx. 118.1 sq. metres (1271.2 sq. feet)











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Cooper Green Pooks
3 Barker Street
Shrewsbury
SY1 1QF

www.cgpooks.co.uk
sales@cgpooks.co.uk
01743 276666



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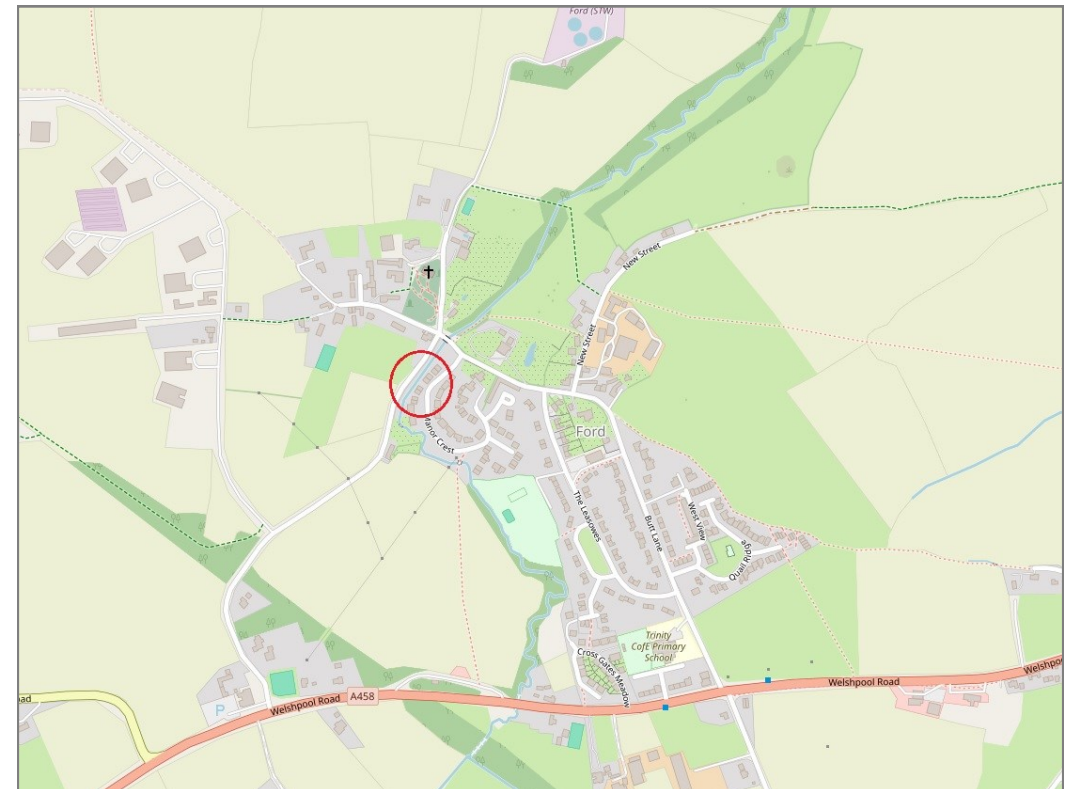
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BOUNDARIES NOT CONFIRMED



Tenure	Freehold
Local Authority	Shropshire Council
Council Tax	Band C
EPC Band	Band E
Services	Mains services water electricity and drainage are connected
	Heating is electric

Expert mortgage advice available

3 Barker St, Shrewsbury SY1 1QF

Cooper Green Pooks
01743 276666



Your home may be repossessed if you do not keep up repayments on your mortgage.

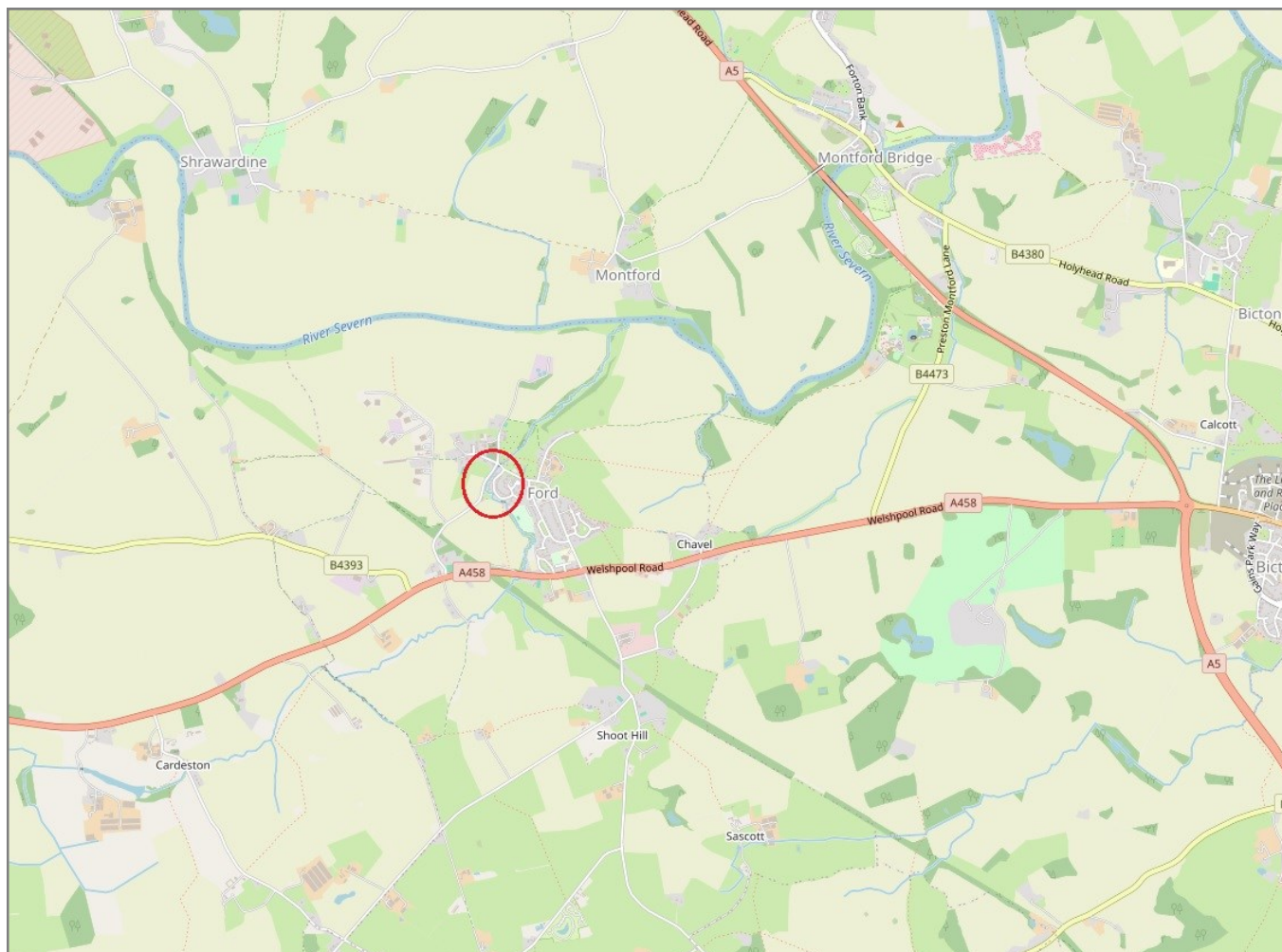
There may be a fee for mortgage advice. The actual amount you pay will depend upon your circumstances. The fee is up to 1% but a typical fee is 0.3% of the amount borrowed.

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